Article 4
Standards, Tables and Maps

TABLE 1: Transect Zone Descriptions. This Table describes of the intent of each Transect Zone.

T1

T-1 Natural [This Transect does not occur within the C.R.A.]

T2

T-2 Rural [This Transect does not occur within the C.R.A.]

T3

T-3 Sub-urban [This Transect does not occur within the C.R.A.]

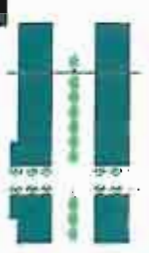
T4

T-4 General Urban	
General Character:	Mix of Houses, Townhouses & Apartment buildings, with scattered Commercial activity; balance between landscape and buildings; presence of pedestrians
Building Placement:	Shallow to medium front and side yard Setbacks
Frontage Types:	Porches, fences, Dooryards
Typical building Height:	2- to 3-Story with a few taller Mixed Use or Apartment buildings
Type of Civic Space:	Squares, Greens

T5

T-5 Urban Center	
General Character:	Shops mixed with Townhouses, larger Apartment houses, Offices, workplace, and Civic buildings; predominantly attached buildings; trees within the public right-of-WAY; substantial pedestrian activity
Building Placement:	Shallow Setbacks or none; buildings oriented to street defining a street wall
Frontage Types:	Stoops, Shopfronts, Galleries
Typical building Height:	3- to 5-Story with some variation
Type of Civic Space:	Parks, Plazas and Squares, median landscaping

T6



T-6 Urban Core	
General Character:	Medium to high-Density Mixed Use buildings, entertainment, Civic and cultural uses. Attached buildings forming a continuous street wall; trees within the public right-of-way; highest pedestrian and transit activity
Building Placement:	Shallow Setbacks or none; buildings oriented to street, defining a street wall
Frontage Types:	Stoops, Dooryards, Forecourts, Shopfronts, Galleries, and Arcades
Typical building Height:	4-plus Story with a few shorter buildings
Type of Civic Space:	Parks, Plazas and Squares; median landscaping

TABLE 2: Vehicular Lane Dimensions. This Table assigns lane widths to Transect Zones. The Design ADT (Average Daily Traffic) is the determinant for each of these sections. The most typical assemblies are shown in Table 3B. Specific requirements for truck and transit bus routes and truck loading shall be decided by Warrant. Federal, state and county roads are not subject to these standards.

DESIGN SPEED	TRAVEL LANE WIDTH	T4	T5	T6
Below 20 mph	8 feet	□		
20-25 mph	9 feet	▪	□	□
25-35 mph	10 feet	▪	▪	▪
25-35 mph	11 feet		▪	▪
Above 35 mph	12 feet		▪	▪

DESIGN SPEED	PARKING LANE WIDTH			
20-25 mph	(Angle) 18 feet		▪	▪
20-25 mph	(Parallel) 7 feet	▪		
25-35 mph	(Parallel) 8 feet	▪	▪	▪
Above 35 mph	(Parallel) 9 feet		▪	▪

DESIGN SPEED	EFFECTIVE TURNING RADIUS (See table 17b)			
Below 20 mph	5-10 feet	▪	▪	▪
20-25 mph	10-15 feet	▪	▪	▪
25-35 mph	15-20 feet	▪	▪	▪
Above 35 mph	20-30 feet		□	□

▪ by Right
□ by Warrant

TABLE 3: Vehicular Lane & Parking Assemblies. The projected design speeds determine the dimensions of the vehicular lanes and turning radii assembled for thoroughfares.

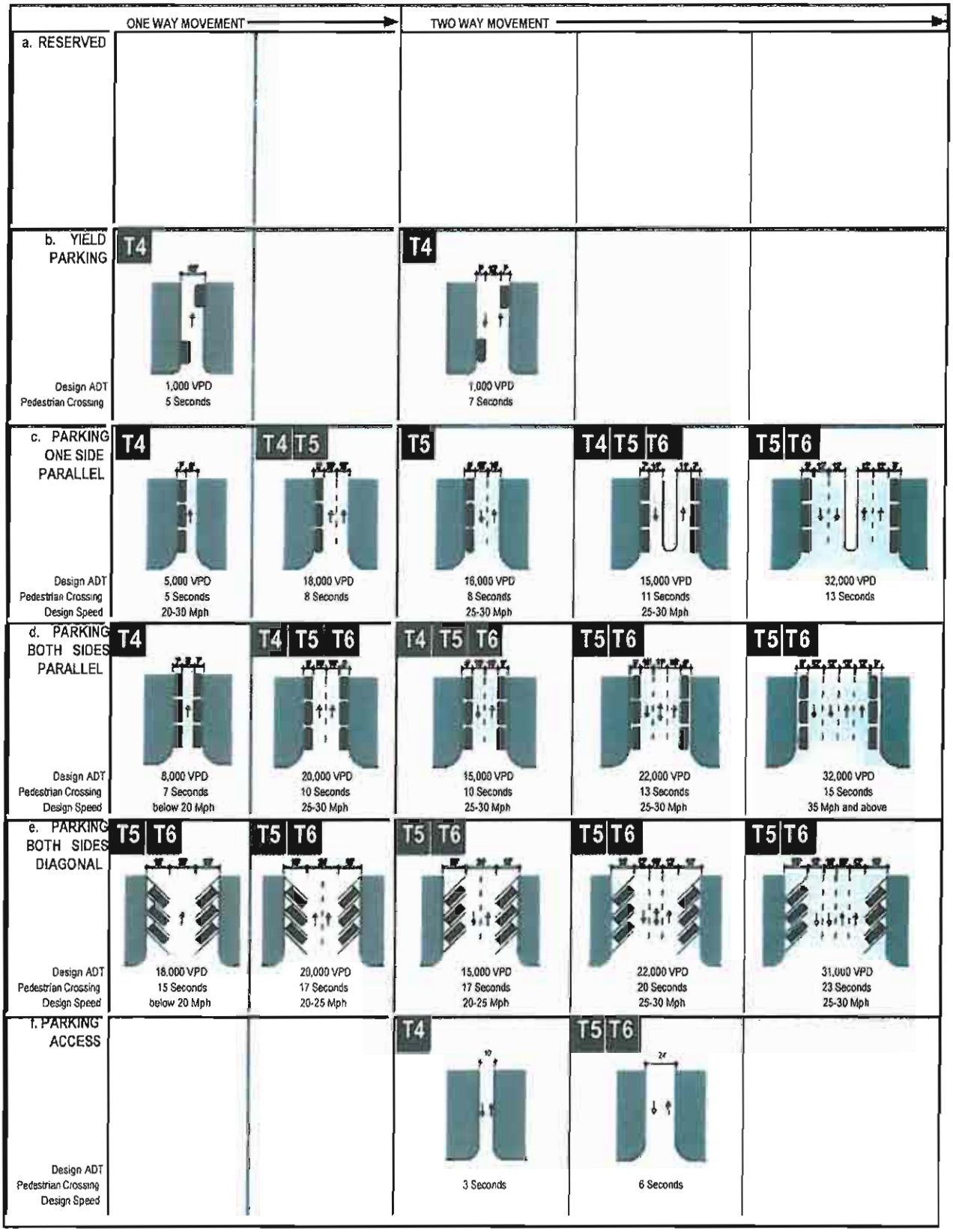
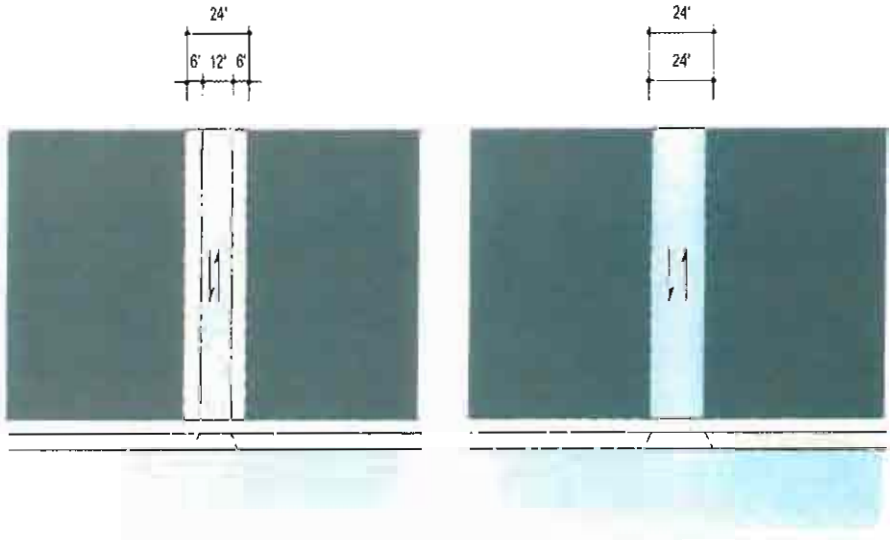


TABLE 3A
Thoroughfares with 24 Foot Widths

Key	ST-57-20-BL
Thoroughfare Type	
Right of Way Width	
Pavement Width	
Transportation	

Thoroughfare Tyes	
Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR

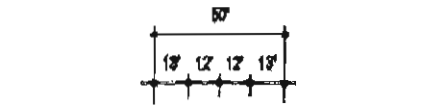


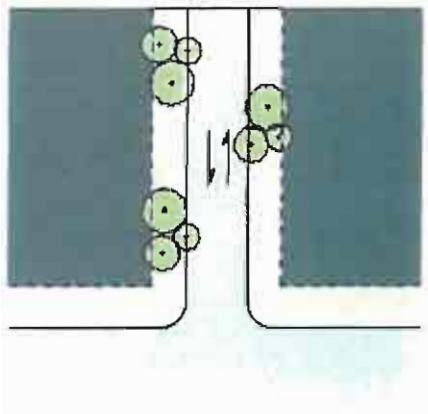
	RL-24-12	RA-24-24
Thoroughfare Type	Rear Lane	Rear Alley
Transect Zone Assignment	T3	T4, T5, T6
Right-of-Way Width	24 feet	24 feet
Pavement Width	12 feet	24 feet
Movement	Yield Movement	Slow Movement
Design Speed	10 MPH	10 MPH
Pedestrian Crossing Time	3.5 seconds	7 seconds
Traffic Lanes	n/a	n/a
Parking Lanes	None	None
Curb Radius	Taper	Taper
Walkway Type	None	None
Planter Type	None	None
Curb Type	Inverted Crown	Inverted Crown
Landscape Type	None	None
Transportation Provision	None	None

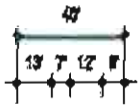
TABLE 3B
Thoroughfares With 50 and 40 Foot Widths

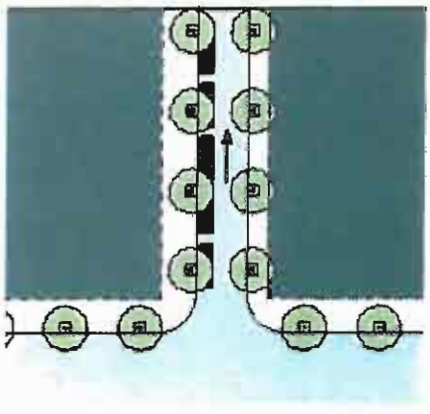
Key	ST-57-20-BL
Thoroughfare Type	
Right of Way Width	
Pavement Width	
Transportation	

Thoroughfare Types	
Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR







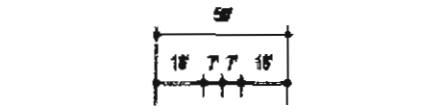


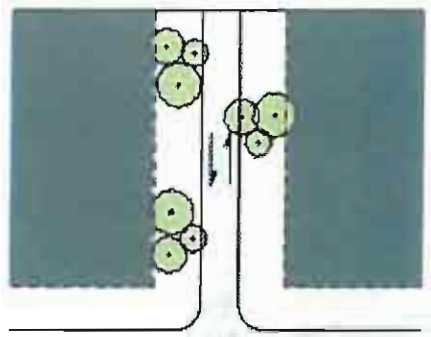
	RD-50-24	ST-40-19
Thoroughfare Type	Road	Street
Transect Zone Assignment	T1, T2, T3	T5, T6
Right-of-Way Width	50 feet	40 feet
Pavement Width	24 feet	19 feet
Movement	Slow Movement	Slow Movement
Design Speed	20 MPH	20 MPH
Pedestrian Crossing Time	6.8 seconds	5.4 seconds
Traffic Lanes	2 lanes	1 lane
Parking Lanes	None	One side @ 7 feet marked
Curb Radius	25 feet	15 feet
Walkway Type	Path optional	13/8 foot Sidewalk
Planter Type	Continuous Swale	4x4' tree well
Curb Type	Swale	Curb
Landscape Type	Trees clustered	Trees at 30' o.c. Avg.
Transportation Provision	see Bicycling Module	see Bicycling Module

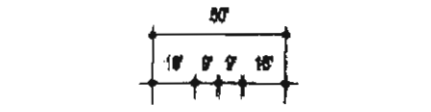
TABLE 3C
Thoroughfares with 50 Foot Widths

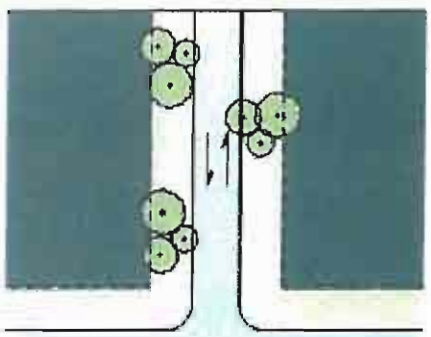
Key	ST-57-20-BL
Thoroughfare Type	
Right of Way Width	
Pavement Width	
Transportation	

Thoroughfare Types	
Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR







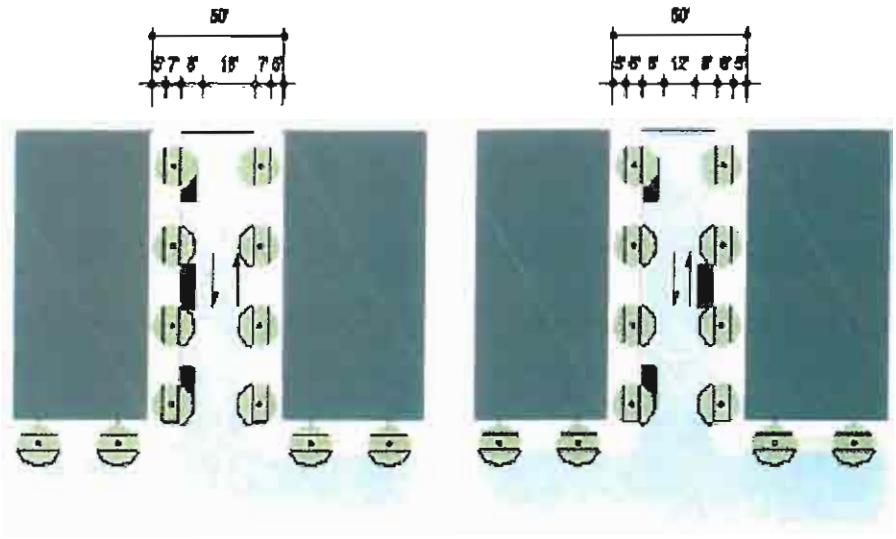


	RD-50-14	RD-50-18
Thoroughfare Type	Road	Road
Transect Zone Assignment	T1, T2, T3	T1, T2, T3
Right-of-Way Width	50 feet	50 feet
Pavement Width	14 feet	18 feet
Movement	Yield Movement	Slow Movement
Design Speed	15 MPH	15 MPH
Pedestrian Crossing Time	4 seconds	5.1 seconds
Traffic Lanes	2 lanes	2 lanes
Parking Lanes	None	None
Curb Radius	25 feet	25 feet
Walkway Type	Path optional	Path optional
Planter Type	Continuous Swale	Continuous Swale
Curb Type	Swale	Swale
Landscape Type	Trees clustered	Trees clustered
Transportation Provision	see Bicycling Module	see Bicycling Module

TABLE 3D
Thoroughfares With 50 Foot Widths

Key	ST-57-20-BL
Thoroughfare Type	
Right of Way Width	
Pavement Width	
Transportation	

Thoroughfare Types	
Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR

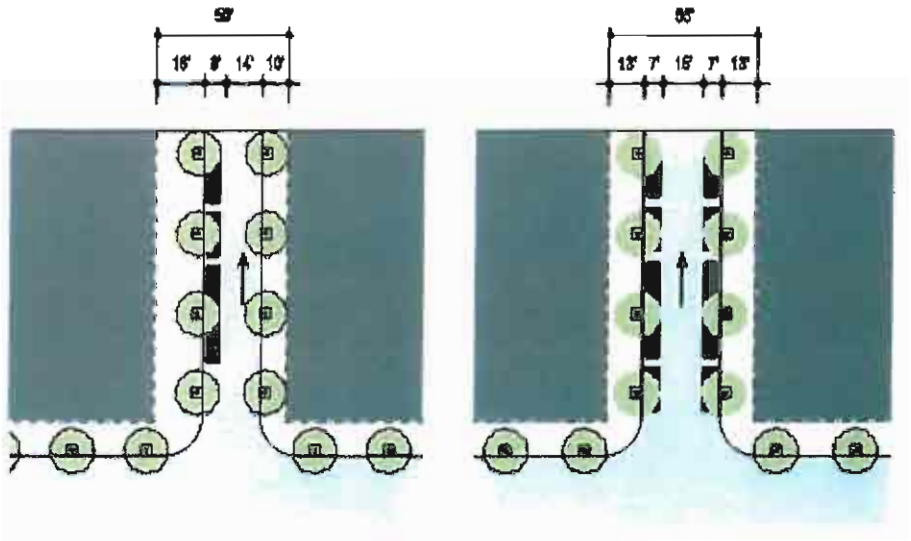


	ST-50-26	ST-50-28
Thoroughfare Type	Street	Street
Transect Zone Assignment	T4, T5, T6	T4, T5, T6
Right-of-Way Width	50 feet	50 feet
Pavement Width	26 feet	28 feet
Movement	Free Movement	Yield Movement
Design Speed	20 MPH	20 MPH
Pedestrian Crossing Time	7.4 seconds	7.6 seconds
Traffic Lanes	2 lanes	2 lane
Parking Lanes	One side @ 8 feet marked	Both sides @ 8 feet unmarked
Curb Radius	10 feet	10 feet
Walkway Type	5 foot Sidewalk	5 foot Sidewalk
Planter Type	7 foot continuous Planter	6 foot continuous Planter
Curb Type	Curb	Curb
Landscape Type	Trees at 30' o.c. Avg.	Trees at 30' o.c. Avg.
Transportation Provision	See Bicycling Module	See Bicycling Module

TABLE 3E
Thoroughfares with 50 and 55 Foot Widths

Key	ST-57-20-BL
Thoroughfare Type	
Right of Way Width	
Pavement Width	
Transportation	

Thoroughfare Types	
Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR

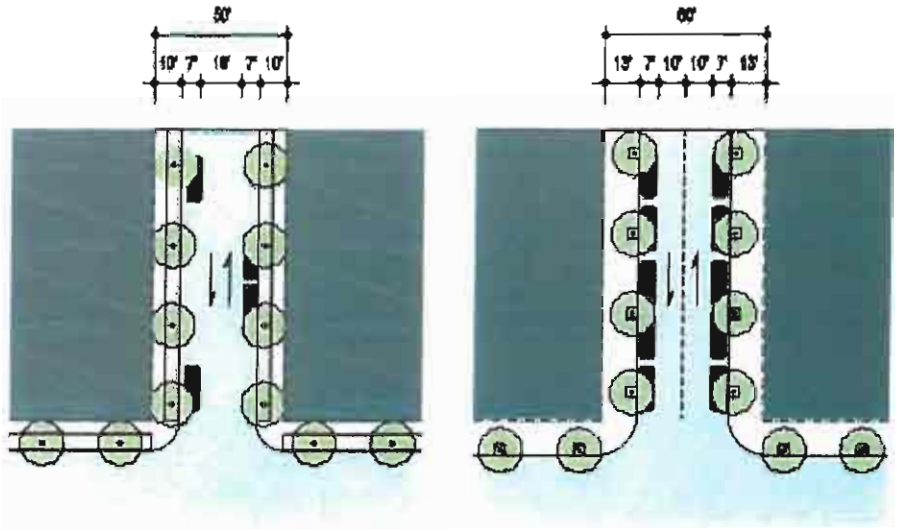


	CS-50-22	CS-55-29
Thoroughfare Type	Commercial Street	Commercial Street
Transect Zone Assignment	T5, T6	T5, T6
Right-of-Way Width	50 feet	55 feet
Pavement Width	22 feet	29 feet
Movement	Slow Movement	Slow Movement
Design Speed	20 MPH	20 MPH
Pedestrian Crossing Time	6.2 seconds	8.2 seconds
Traffic Lanes	1 lane	1 lane
Parking Lanes	One side @ 8 feet marked	Both sides @ 7 feet marked
Curb Radius	15 feet	15 feet
Walkway Type	18/10 foot Sidewalk	13 foot Sidewalk
Planter Type	4x4' tree well	4x4' tree well
Curb Type	Curb	Curb
Landscape Type	Trees at 30' o.c. Avg.	Trees at 30' o.c. Avg.
Transportation Provision	see Bicycling Module	see Bicycling Module

TABLE 3-F
Thoroughfares With 50 and 60 Foot Widths

Key	ST-57-20-BL
Thoroughfare Type	
Right of Way Width	
Pavement Width	
Transportation	

Thoroughfare Types	
Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR

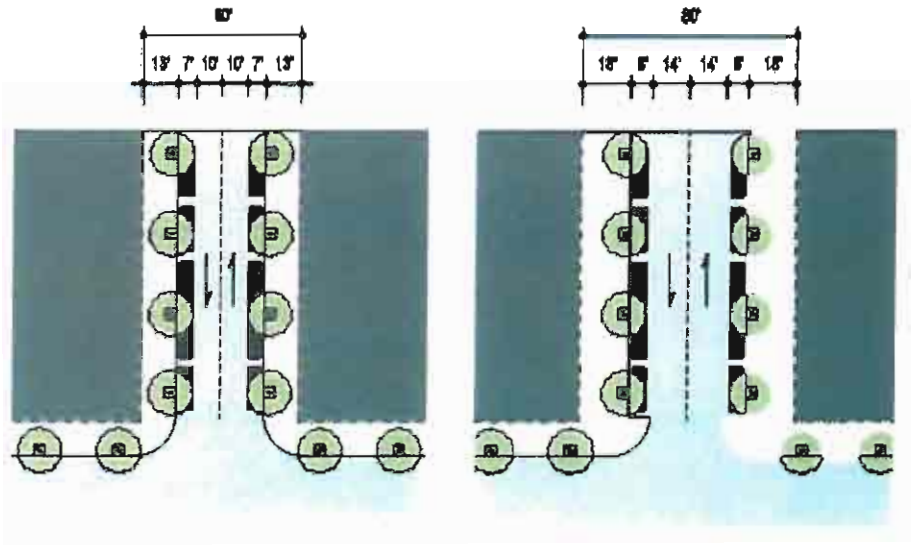


	ST-50-30	ST-60-34
Thoroughfare Type	Street	Street
Transect Zone Assignment	T3, T4	T3, T4, T5
Right-of-Way Width	50 feet	60 feet
Pavement Width	30 feet	34 feet
Movement	Slow Movement	Slow Movement
Design Speed	20 MPH	20 MPH
Pedestrian Crossing Time	8.5 seconds	9.7 seconds
Traffic Lanes	2 lanes	2 lanes
Parking Lanes	Both sides @ 7 feet unmarked	Both Sides @ 7 feet marked
Curb Radius	10 feet	15 feet
Walkway Type	5 foot Sidewalk	6 foot Sidewalk
Planter Type	5 foot continuous Planter	7 foot continuous Planter
Curb Type	Curb	Curb
Landscape Type	Trees at 30' o.c. Avg.	Trees at 30' o.c. Avg.
Transportation Provision	see Bicycling Module	see Bicycling Module

TABLE 3G
Thoroughfares With 60 and 80 Foot Widths

Key	ST-57-20-BL
Thoroughfare Type	
Right of Way Width	
Pavement Width	
Transportation	

Thoroughfare Types	
Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR

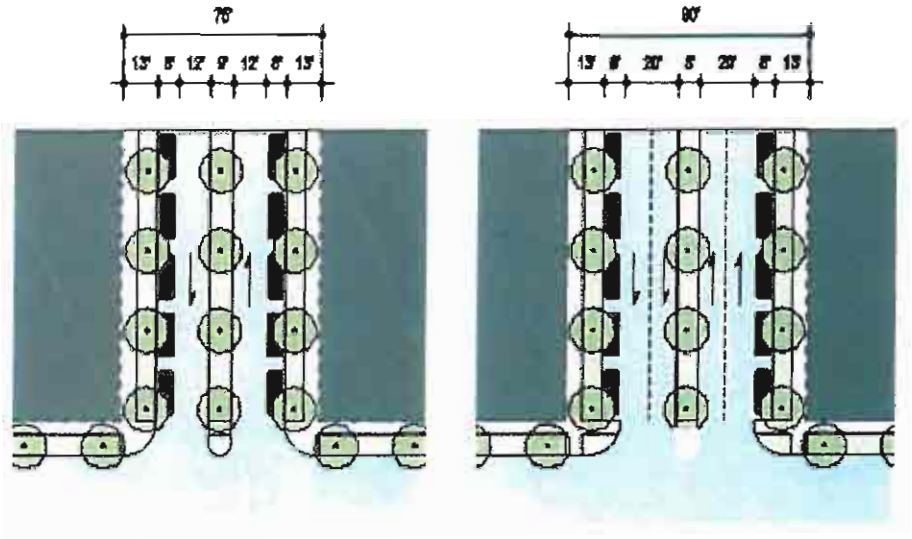


Thoroughfare Type	CS-60-34	CS-80-44
Transect Zone Assignment	Commercial Street	Commercial Street
Right-of-Way Width	T5, T6	T5, T6
Pavement Width	60 feet	80 feet
Movement	34 feet	44 feet
Design Speed	Slow Movement	Free Movement
Pedestrian Crossing Time	20 MPH	25 MPH
Traffic Lanes	9.7 seconds	8 seconds at corners
Parking Lanes	2 lanes	2 lanes
Curb Radius	Both sides @ 7 feet marked	Both sides @ 8 feet marked
Walkway Type	10 feet	10 feet
Planter Type	13 foot Sidewalk	18 foot Sidewalk
Curb Type	4x4" tree well	4x4" tree well
Landscape Type	Curb	Curb
Transportation Provision	Trees at 30' o.c. Avg.	Trees at 30' o.c. Avg.
	see Bicycling Module	see Bicycling Module

TABLE 3H
Thoroughfares With 75 and 90 Foot Widths

Key	ST-57-20-BL
Thoroughfare Type	
Right of Way Width	
Pavement Width	
Transportation	

Thoroughfare Types	
Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR

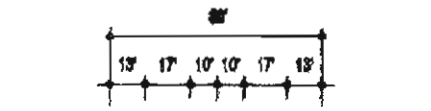


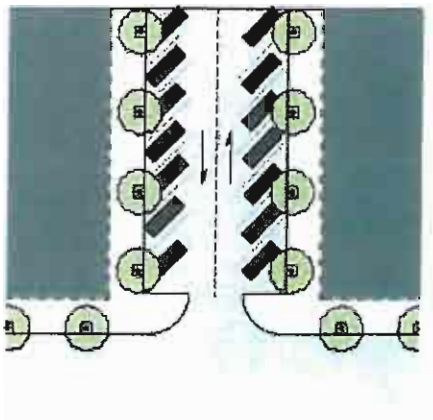
	AV-75-40	AV-90-56
Thoroughfare Type	Avenue	Avenue
Transect Zone Assignment	T3, T4, T5	T3, T4, T5
Right-of-Way Width	75 feet	90 feet
Pavement Width	40 feet total	56 feet total
Movement	Slow Movement	Slow Movement
Design Speed	25 MPH	25 MPH
Pedestrian Crossing Time	5.7 seconds - 5.7 seconds	5.7 seconds - 5.7 seconds at corners
Traffic Lanes	2 lanes	4 lanes
Parking Lanes	Both sides @ 8 feet marked	Both sides @ 8 feet marked
Curb Radius	10 feet	10 feet
Walkway Type	6 foot Sidewalk	6 foot Sidewalk
Planter Type	7 foot continuous Planter	7 foot continuous Planter
Curb Type	Curb or Swale	Curb or Swale
Landscape Type	Trees at 30' o.c. Avg.	Trees at 30' o.c. Avg.
Transportation Provision	see Bicycling Module	see Bicycling Module

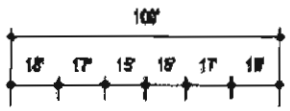
TABLE 3I
Thoroughfares With 80 and 100 Foot Widths

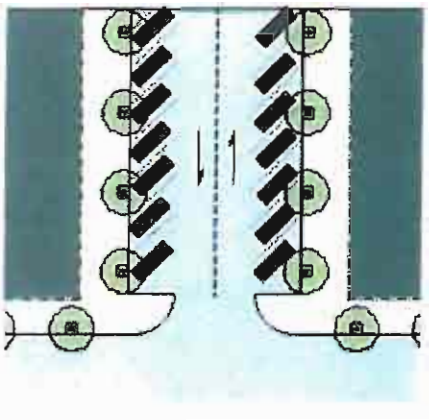
Key	ST-57-20-BL
Thoroughfare Type	
Right of Way Width	
Pavement Width	
Transportation	

Thoroughfare Types	
Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR









	CS-80-54	CS-100-64
Thoroughfare Type	Commercial Street	Commercial Street
Transect Zone Assignment	T5, T6	T5, T6
Right-of-Way Width	80 feet	100 feet
Pavement Width	54 feet	64 feet
Movement	Slow Movement	Slow Movement
Design Speed	25 MPH	25 MPH
Pedestrian Crossing Time	5.7 seconds at corners	8.6 seconds at corners
Traffic Lanes	2 lanes	2 lanes
Parking Lanes	Both sides angled @ 17 feet marked	Both sides angled @ 17 feet marked
Curb Radius	10 feet	10 feet
Walkway Type	13 foot Sidewalk	18 foot Sidewalk
Planter Type	4X4' tree well	4X4' tree well
Curb Type	Curb	Curb
Landscape Type	Trees at 30' o.c. Avg.	Trees at 30' o.c. Avg.
Transportation Provision	See Bicycling Module	See Bicycling Module

TABLE 4: Public Frontages - General. The Public Frontage is the area between the private Lot line and the edge of the vehicular lanes. Dimensions are given in Table 5.

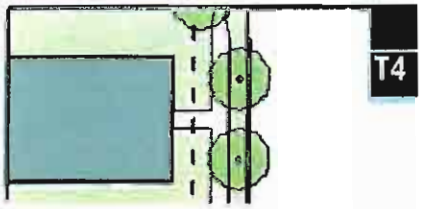
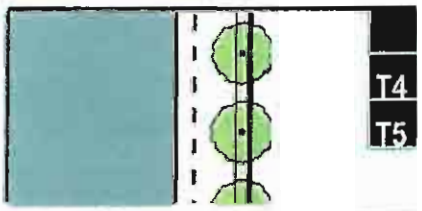
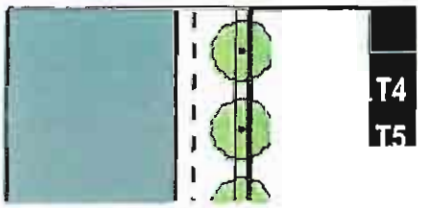
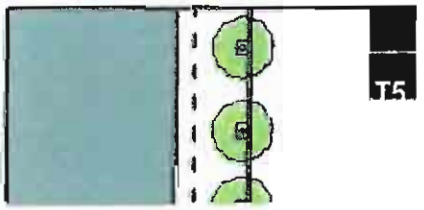
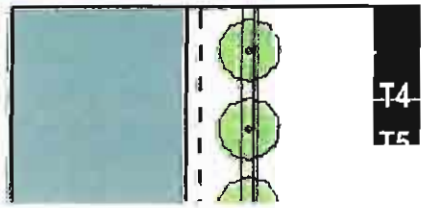
	PLAN LOT ► ◄ R.O.W. PRIVATE FRONTAGE ► ◄ PUBLIC FRONTAGE
a. [RESERVED]	
b. [RESERVED]	
c. (ST) **For Street:** This Frontage has raised Curbs drained by inlets and Sidewalks separated from the vehicular lanes by individual or continuous Planters, with parking on one or both sides. The landscaping consists of street trees of a single or alternating species aligned in a regularly spaced Allee.	
d. (DR) **For Drive:** This Frontage has raised Curbs drained by inlets and a wide Sidewalk or paved Path along one side, related to a Greenway or waterfront. It is separated from the vehicular lanes by individual or continuous Planters. The landscaping consists of street trees of a single or alternating species aligned in a regularly spaced Allee.	
e. (AV) **For Avenue:** This Frontage has raised Curbs drained by inlets and wide Sidewalks separated from the vehicular lanes by a narrow continuous planter with parking on both sides. The landscaping consists of a single tree species aligned in a regularly spaced Allee.	
f. (CS) (AV) **For Commercial Street or Avenue:** This Frontage has raised Curbs drained by inlets and very wide Sidewalks along both sides separated from the vehicular lanes by separate tree wells with grates and parking on both sides. The landscaping consists of a single tree species aligned with regular spacing where possible but clears the storefront entrances.	
g. (BV) **For Boulevard:** This Frontage has Slip roads on both sides. It consists of raised Curbs drained by inlets and Sidewalks along both sides, separated from the vehicular lanes by planters. The landscaping consists of double rows of a single tree species aligned in a regularly spaced Allee.	

TABLE 5: Public Frontages - Specific. This Table assembles prescriptions and dimensions for the Public Frontage elements - Curbs, walkways and Planters - relative to specific Thoroughfare types within Transect Zones.

RURAL ..... TRANSECT ..... URBAN

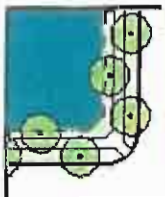
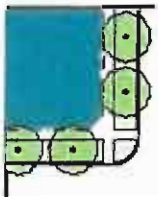
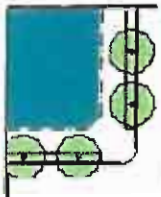
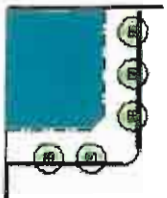
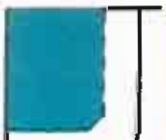
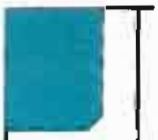
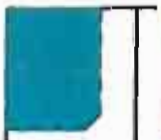
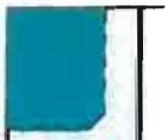
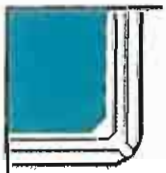
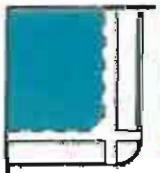
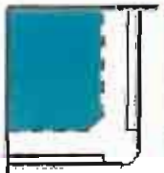
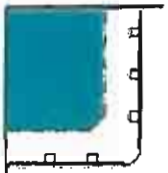
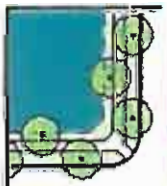
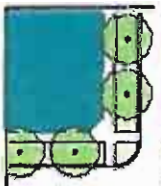
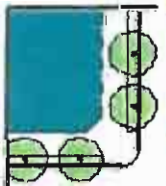
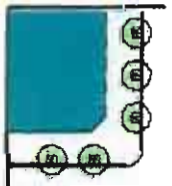
TRANSECT ZONE Public Frontage Type			T4 ST-DR-AV	T4 T5 ST-DR-AV-BV	T5 T6 CS-DR-AV-BV	T5 T6 CS-DR-AV-BV
a. **Assembly:** The principal variables are the type and dimension of Curbs, walkways, Planters and landscape. Total Width			 12-18 feet	 12-18 feet	 18-24 feet	 18-30 feet
b. **Curb:** The detailing of the edge of the vehicular pavement, incorporating drainage. Type Radius			 raised Curb 5-20 feet	 raised Curb 5-20 feet	 raised Curb 5-20 feet	 raised Curb 5-20 feet
c. **Walkway:** The pavement dedicated exclusively to pedestrian activity. Type Width			 Sidewalk 5-8 feet	 Sidewalk 5-8 feet	 Sidewalk 12-20 feet	 Sidewalk 12-30 feet
d. **Planter:** The layer which accommodates street trees and other landscape. Arrangement Species Planter Type Planter Width			 Regular Alternating Continuous Planter 8 feet-12 feet	 Regular Single Continuous Planter 8 feet-12 feet	 Regular Single Continuous Planter 4 feet-6 feet	 Opportunistic Single Tree Well 4 feet-6 feet
e. **Landscape:**						
f. **Lighting:** The recommended public lighting. (See Article 4, Illustration 1)						

TABLE 6: **Private Frontages**. The Private Frontage is the area between the building Facades and the Lot lines.

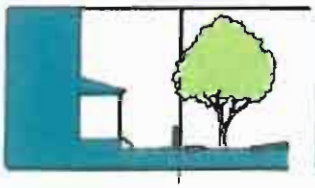
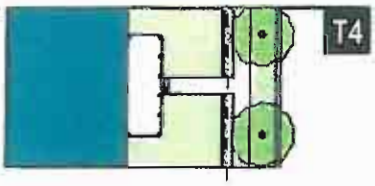
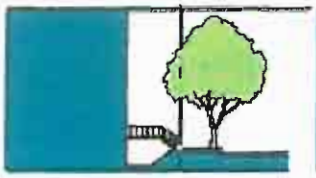
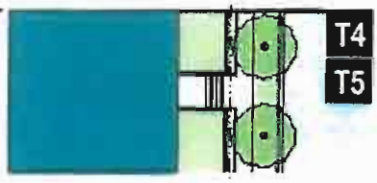
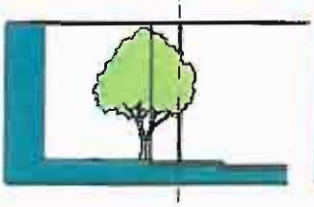
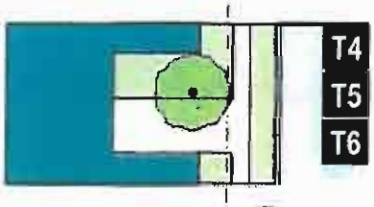
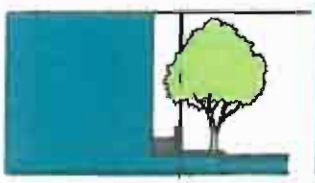
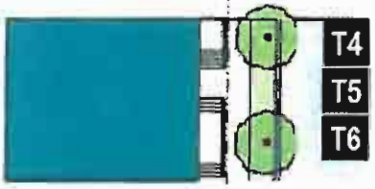
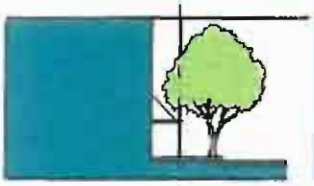
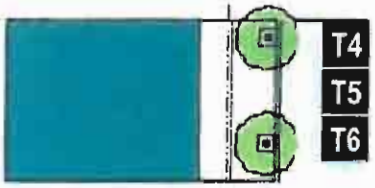
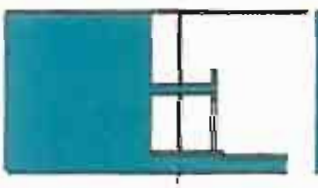
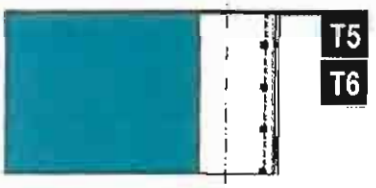
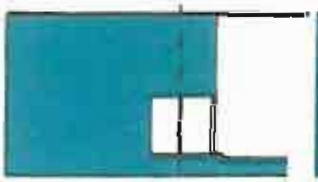
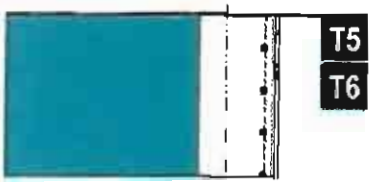
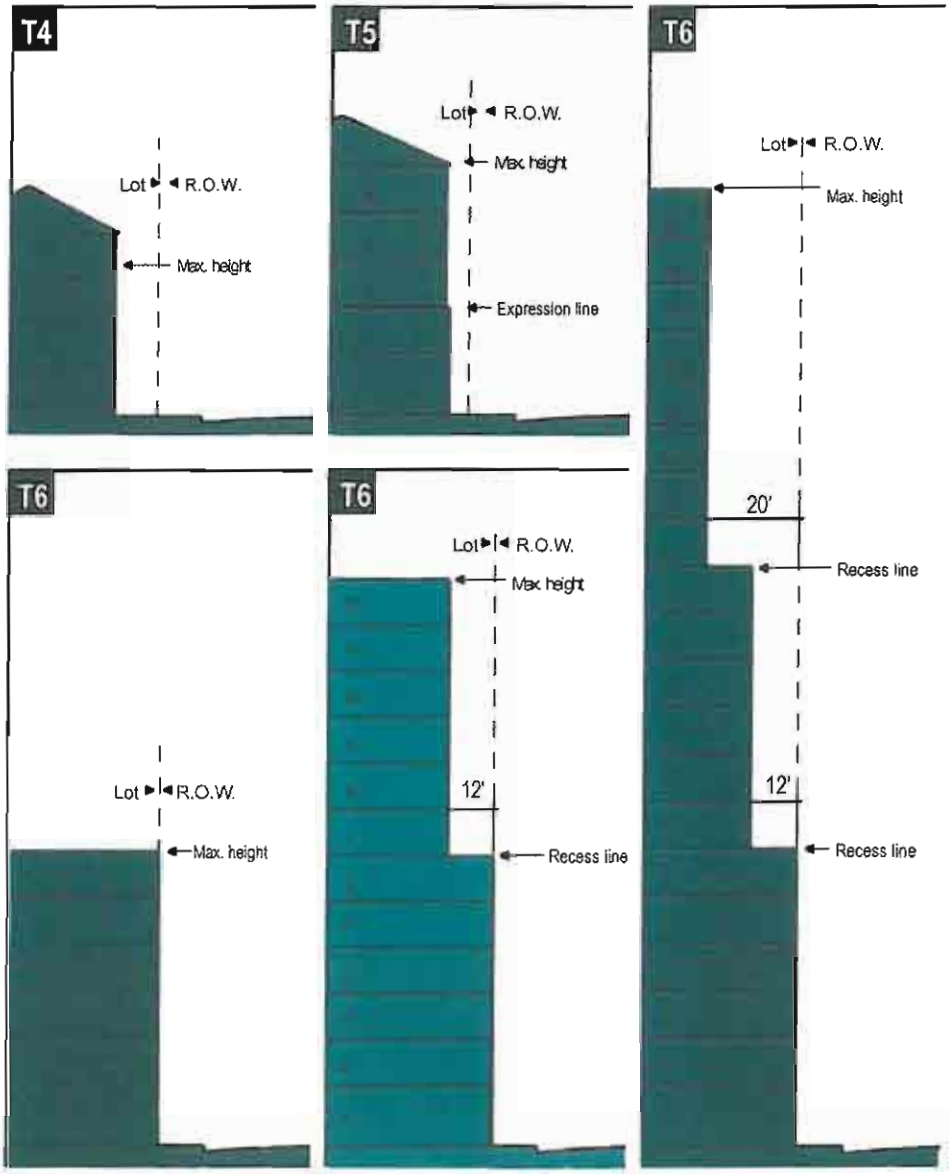
	SECTION	PLAN
	LOT ► PRIVATE ► FRONTAGE ◄ R.O.W. ◄ PIBLIC FRONTAGE	LOT ► PRIVATE ► FRONTAGE ◄ R.O.W. ◄ PUBLIC FRONTAGE
a. [RESERVED]		
b. **Porch & Fence:** a planted Frontage wherein the Facade is set back from the Frontage Line with an attached porch permitted to Encroach. A fence at the Frontage line maintains street spatial definition. Porches shall be no less than 8 feet deep.		 T4
c. **Terrace** or **Lightwell:** a Frontage wherein the Facade is set back from the Frontage line by an elevated Terrace or a sunken Light-well. This type buffers Residential use from urban Sidewalks and removes the private yard from public encroachment. Terraces are suitable for conversion to outdoor cafes. Syn: **Dooryard.**		 T4 T5
d. **Forecourt:** a Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. The Forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other Frontage types. Large trees within the Forecourts may overhang the Sidewalks.		 T4 T5 T6
e. **Stoop:** a Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor Residential use.		 T4 T5 T6
f. **Shopfront:** a Frontage wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. This type is conventional for Retail use. It has a substantial glazing on the Sidewalk level and an awning that should overlap the Sidewalk to within 2 feet of the Curb. Syn: Retail Frontage.		 T4 T5 T6
g. **Gallery:** a Frontage wherein the Facade is aligned close to the Frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the Sidewalk. This type is conventional for Retail use. The Gallery shall be no less than 10 feet wide and should overlap the Sidewalk to within 2 feet of the Curb.		 T5 T6
h. **Arcade:** a Frontage wherein the Facade is a colonnade that overlaps the Sidewalk, while the Facade at Sidewalk level remains at the Frontage line. This type is conventional for Retail use. The Arcade shall be no less than 12 feet wide and should overlap the Sidewalk to within 2 feet of the Curb.		 T5 T6

TABLE 7: Building Configuration. This Table shows the Configurations for different building heights for each Transect Zone. Recess Lines and Expression Lines shall occur on higher buildings as shown. N = maximum height as specified in Table 11.



1. Building height shall be measured in number of Stories, excluding attics and raised basements. Height limits also do not apply to masts, belfries, clock towers, chimney flues, water tanks, elevator bulkheads and similar structures.

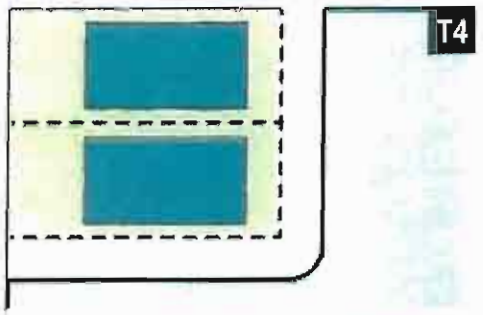
2. Stories may not exceed 14 feet in height from finished floor to finished floor, except for a first floor Commercial Function which shall be a minimum of 11 feet and may be a maximum of 25 feet.

3. Height shall be measured from the average Enfronting Sidewalk grade to the upper-Most eave of a main pitched roof (not of a dormer), or to the uppermost roof deck (not the top of parapet) of a flat roof.

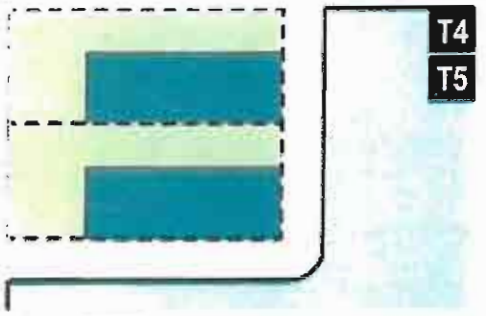
4. T6 Recess lines shall be required if a Building exceeds 6 floors. The Recess line shall be at the 6th floor and shall be 12 ft. from the property line. If the Building exceeds 12 floors, a second Recess line shall be required at the 13th floor and shall be 20 ft. from the property line.

TABLE 8: Building Disposition. This Table approximates the location of the structure relative to the boundaries of each individual Lot, establishing suitable basic building types for each Transect Zone.

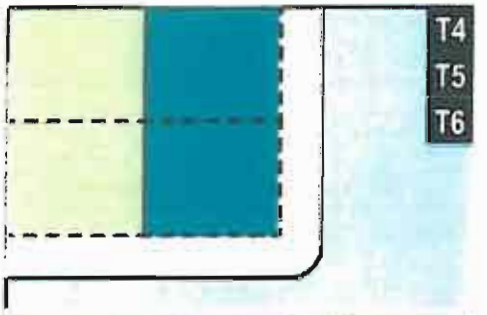
a. Edgeyard: A building that occupies the center of its Lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the Frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed Backbuilding and/or Outbuilding.



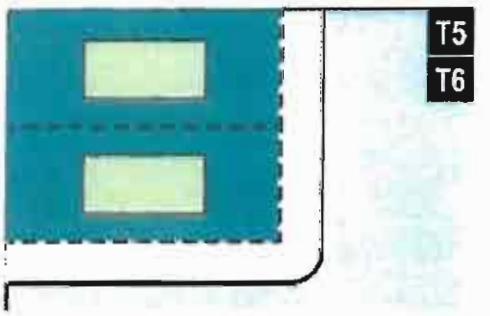
b. Sideyard: A building that occupies one side of the Lot with the Setback to the other side. A shallow Frontage Setback defines a more urban condition. If the adjacent building is similar with a blank party wall, the yard can be quite private. If a Sideyard House abuts a neighboring Sideyard House, the type is known as a twin or double house.



c. Rearyard: A building that occupies the full Frontage, leaving the rear of the Lot as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for Functional purposes. In its residential form, this type is the Rowhouse. In its Commercial form, the rear yard can accommodate substantial parking; these may be live-work or loft buildings.



d. Courtyard: A building that occupies the boundaries of its Lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.



e. Specialized: A building that is not subject to categorization. Buildings dedicated to manufacturing and transportation are often distorted by the trajectories of machinery. Civic buildings, which may express the aspirations of institutions, may be included.

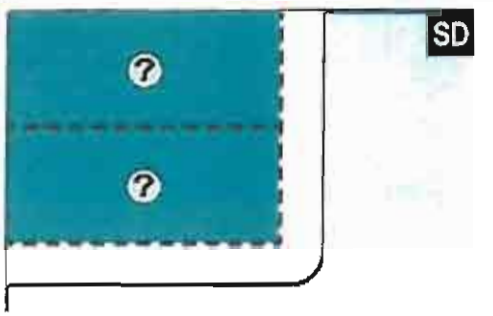


TABLE 9A OFF-STREET PARKING REQUIREMENTS		
BUILDING FUNCTION/LAND USE	TRANSECT ZONE 4	TRANSECT ZONES 5 & 6
Residential	1.5/dwelling	1.0/dwelling
Lodging	1.0/bedroom	1.0/bedroom
Office	3.0/1000 sq. ft.	2.0/1000 sq. ft.
Retail	4.0/1000 sq. ft.	3.0/1000 sq. ft.
Civic	* or to be determined by Warrant	
Other	* or be determined by Warrant	
* See Article 3, Subsection 3.7.3		

TABLE 9B SHARED PARKING STANDARD						
Land Use	With Land Use					
	Residential	Lodging	Office	Commercial	Civic	Other
Residential	1.0	1.1	1.4	1.2	*	*
Lodging	1.1	1.0	1.7	1.3	*	*
Office	1.4	1.7	1.0	1.2	*	*
Commercial	1.2	1.3	1.2	1.0	*	*
Civic	*	*	*	*	1.0	*
Other	*	*	*	*	*	1.0
* = To be determined by Warrant						

- The Shared Parking Standards Table provides the method for calculating shared parking for buildings with more than on Use type. It refers to the parking requirements that appear in Table 9-a.
- The parking required for any two Land Uses on a Lot is calculated by dividing the number of spaces required by the lesser of the two uses by an appropriate factor from this Table and adding the result to the greater use parking requirements.
- For example, for a building with a Residential Use requiring 100 spaces and a Commercial Use requiring 20 spaces, the 20 spaces divided by the sharing factor of 1.2 would reduce the total requirement to 100 plus 16 spaces.

TABLE 9C OFF-STREET PARKING STANDARDS			
Parking Angle	Access Aisle Width		
	One-way traffic Single loaded	One-way traffic Double Loaded	Two-way traffic Double Loaded
90	23.0 feet	23.0 feet	23.0 feet
60	12.8 feet	11.8 feet	19.3 feet
45	10.8 feet	9.5 feet	18.5 feet
Parallel	10.0 feet	10.0 feet	20.0 feet
Standard stall: 8.5 feet x 18 feet minimum			

- Driveways shall have a minimum of 10 feet of paved width of a one-way drive and 20 feet for a two-way drive for parking areas providing 10 or more stalls.
- Pedestrian entrances shall be at least 3 feet from stall, driveway or access aisle.
- Allowable slopes, paving and drainage per Florida Building Code.
- Off-street Parking facilities shall have a vertical clearance of 7 feet. Where such a facility is to be used by trucks or loading Uses, the minimum shall be 12 feet Residential and 15 feet Commercial an Industrial.
- For landscaping requirements of parking lots, refer to LDR Schedule J, Part 2.0, Section 2.5

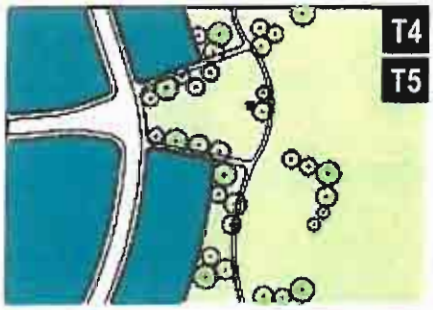
TABLE 9D LOADING BERTH STANDARDS IN T-5 AND T6			
Land use	**Size in Square Feet**	**Berth size**	**Loading Berths**
Residential	25,000 – 500,000	420 square feet	1 per first 100 units
		240 square feet	1 per each fraction of 100
	500,000+	660 square feet	1 per first 100 units
		240 square feet	1 per each fraction of 100
Lodging	25,000 – 500,000	420 square feet	1 per 300 rooms
		240 square feet	1 per 100 rooms
	500,000+	660 square feet	1 per each fraction of 100
		240 square feet	1 per each fraction of 100
Office Commercial Industrial	25,000 – 500,000	420 square feet	1 per 50,000 square feet of fraction thereof

Notes:

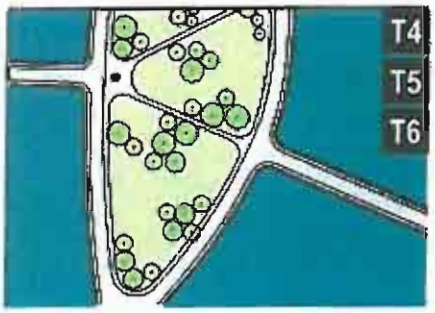
- Residential 240 square feet = 10 feet * 20 feet * 12 feet
- Commercial 420 square feet = 12 feet * 35 feet * 15 feet
- Residential loading berths shall be set back a distance equal to their length
- One Commercial berth may be substituted by 2 residential berths

TABLE 10: Civic Space.

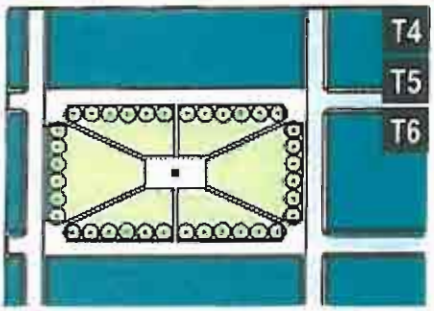
a. **Park:** An Open Space, available for unstructured recreation. A Park may be independent of surrounding building Frontages. Its landscape shall consist of paths and trails, waterbodies, woodland and open shelters, all naturalistically disposed. Urban Parks are frequently lineal, following the trajectories of natural corridors. The minimum size shall be 5 acres.



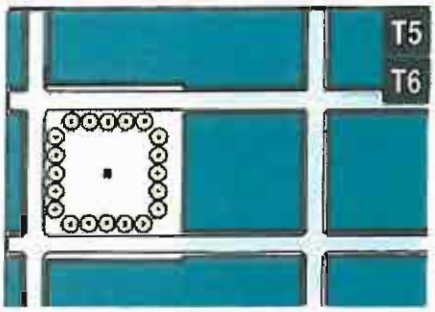
b. **Green:** An open Space, available for unstructured recreation. A Green may be spatially defined by landscaping rather than building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be ½ acre and the maximum size shall be 8 acres.



c. **Square:** An open Space available for unstructured recreation and Civic purposes. A Square is spatially defined by building Frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. The minimum size shall be ½ acre and the maximum size shall be 5 acres.



d. **Plaza:** An open Space available for Civic purposes and Commercial activities. a Plaza shall be spatially defined by building Frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas should be located at the intersection of important streets. The minimum size shall be ½ acre and the maximum size shall be 2 acres.



e. **Playground:** An open Space designed and equipped for the recreation of children. a playground should be fenced and may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a Block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.

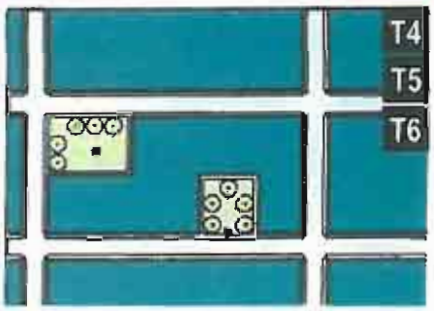
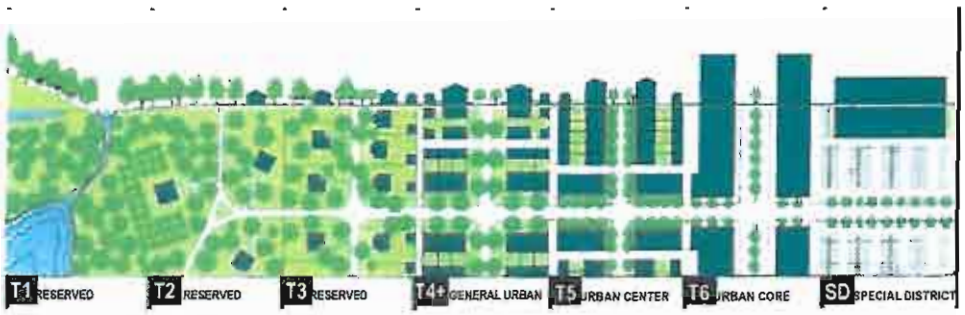
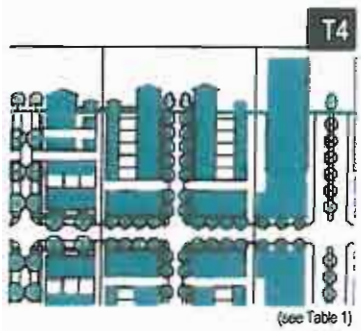


TABLE 11: SmartCode Summary



a. (RESERVED)						
b. BUILDING HEIGHT						
Maximum/Minimum				Principal 2/4 Outbldg 1/2	Principal 2/5 Outbldg 1/2	Principal 3/20
c. BLOCK SIZE						
Block Perimeter				2,400 ft. max	2,000 ft. max	2,000 ft. max *
d. THOROUGHFARES (see Table 2 and Tables 3, 3A-3)						* 3,000 ft. max with parking structures
BV				permitted	permitted	permitted
AV				permitted	permitted	permitted
CS				permitted	permitted	permitted
OR				permitted	permitted	permitted
ST				permitted	permitted	not permitted
Rear Lane				permitted	not permitted	not permitted
Rear Alley				permitted	required	required
Path				permitted	not permitted	not permitted
Trail				permitted	permitted	permitted
Bicycle Trail				not permitted *	not permitted	not permitted
Bicycle Lane				permitted	not permitted	not permitted
Bicycle Route				permitted	permitted	permitted
e. CIVIC SPACES (see Table 10)						* permitted within Open Spaces
Green				permitted	permitted	not permitted
Square				permitted	permitted	permitted
Plaza				not permitted	permitted	permitted
Playground				permitted	permitted	permitted
f. LOT OCCUPATION						
Lot Width				18 ft. min 96 ft. max	18 ft. min 180 ft. max	18 ft. min 700 ft. max
Lot Coverage				70% max	80% max	80% max
g. SETBACKS - PRINCIPAL BUILDING						
Front Setback (Principal)				6 ft. min 18 ft. max	0 ft. min 12 ft. max	0 ft. min 12 ft. max
Front Setback (Secondary)				6 ft. min 18 ft. max	0 ft. min 12 ft. max	0 ft. min 12 ft. max
Side Setback				0 ft. min	0 ft. min 24 ft. max	0 ft. min 24 ft. max
Rear Setback				3 ft. min *	3 ft. min *	0 ft. min
Frontage Buildout				60% min	80% min	80% min
h. SETBACKS - OUTBUILDING						* or 15 ft. from center line of alley
Front Setback				24 ft. min +/-bldg setback	40 ft. max from rear prop	not applicable
Side Setback				0 ft. min or 3 ft.	0 ft min	not applicable
Rear Setback				3 ft.	3 ft. max	not applicable
i. BUILDING DISPOSITION (see Table 8)						
Edgeyard				permitted	not permitted	not permitted
Sideyard				permitted	permitted	not permitted
Rearyard				permitted	permitted	permitted
Courtyard				not permitted	permitted	permitted
j. PRIVATE FRONTAGES (see Table 6)						
Porch & Fence				permitted	not permitted	not permitted
Terrace or L.C.				permitted	permitted	not permitted
Forecourt				permitted	permitted	permitted
Stoop				permitted	permitted	permitted
Shopfront & Awning				permitted	permitted	permitted
Gallery				permitted	permitted	permitted
Arcade				not permitted	permitted	permitted
k. BUILDING CONFIGURATION (see Table 7)						
Principal Building				4 Stories max, 2 min	5 Stories max, 2 min	20 Stories max, 3 min
Outbuilding				2 Stories max	2 Stories max	not applicable
l. BUILDING FUNCTION - RESERVED						



(see Table 1)

BUILDING FUNCTION (See Base Zoning District)	

BUILDING CONFIGURATION (see Table 7)	
a. Principal Building	4 stories max, 2 min
b. Outbuilding	2 stories max.

LOT OCCUPATION	
a. Lot Width	18 ft min 96 ft max
b. Lot Coverage	70% max

BUILDING DISPOSITION (see Table 8)	
a. Edgeyard	permitted
b. Sideyard	permitted
c. Rearyard	permitted
d. Courtyard	not permitted

SETBACKS - PRINCIPAL BUILDING	
a. Front Setback (P)	6 ft. min. 18 ft. max.
b. Front Setback (S)	6 ft. min. 18 ft. max
c. Side Setback	0 ft. min.
d. Rear Setback	3 ft. min.*
e. Frontage Buildout	60% min at setback

SETBACKS - OUTBUILDING	
a. Front Setback	24 ft. min. + bldg. setback
b. Side Setback	0 ft. min. or 3 ft.
c. Rear Setback	3 ft. min

PRIVATE FRONTAGES (see Table 6)	
a. Common lawn	not permitted
b. Porch & Fence	permitted
c. Terrace or L.C.	permitted
d. Forecourt	permitted
e. Stoop	permitted
f. Shopfront & awning	permitted
g. Gallery	permitted
h. Arcade	not permitted

Refer to Summary Table 11

PARKING PROVISIONS
See Table 9

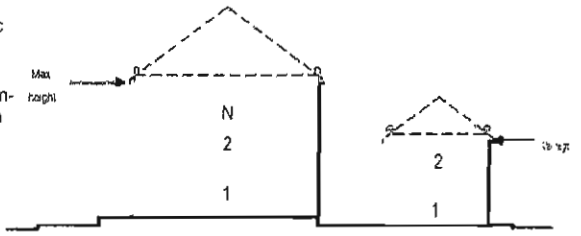
* or 15 ft. from center line of alley

Graphics are illustrative only. Refer to metrics for Setback and height information.

"N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

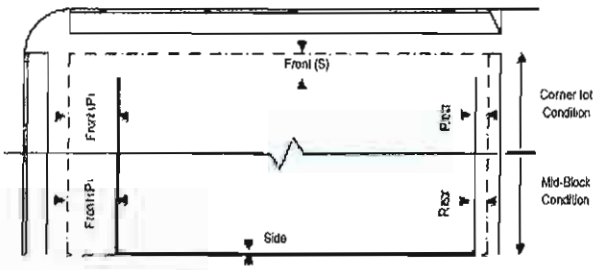
BUILDING CONFIGURATION

1. Building height shall be measure in number of Stories, excluding attic and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished floor or ceiling, except for a first floor Commercial Function which must be a minimum of 11 ft with a 25 maximum.
3. Height shall be measured to the eave or roof deck as specified on Table 7.



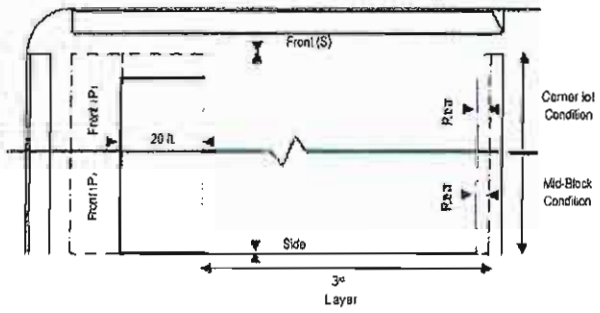
SETBACKS - PRINCIPAL BUILDING

1. The Facades and Elevations of Principal Buildings shall be setback from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the lot lines as shown.



PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the 3rd Layer as shown in the diagram (see Table 13d).
2. Covered parking shall be provided within the 3rd Layer as shown in the diagram (see Table 13d).
3. Trash containers shall be stored within the 3rd Layer.

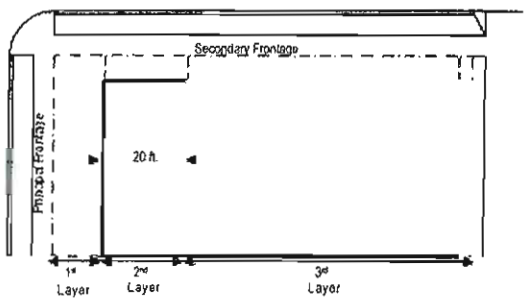
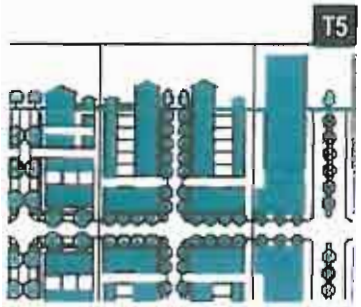


TABLE 12B: Form-Based Code Graphics - T5



(see Table 1)

BUILDING FUNCTION (see Base Zoning District)	

BUILDING CONFIGURATION (see Table 7)	
a. Principal Building	5 stories max. 2 min.
b. Outbuilding	2 stories max.

LOT OCCUPATION	
a. Lot Width	18 ft min 180 ft max
b. Lot Coverage	80% max

BUILDING DISPOSITION (see Table 8)	
a. Edgeyard	not permitted
b. Sideyard	permitted
c. Rearyard	permitted
d. Courtyard	permitted

SETBACKS - PRINCIPAL BUILDING	
a. Front Setback (P)	0 ft. min. 12 ft. max.
a. Front Setback (S)	0 ft. min. 12 ft. max.
b. Side Setback	0 ft. min. 24 ft. max.
c. Rear Setback	3 ft. min.*
d. Frontage Buildout	80% min at setback

SETBACKS - OUTBUILDING	
a. Front Setback	40 ft. max. from rear prop.
b. Side Setback	0 ft. min.
c. Rear Setback	3 ft. max.

PRIVATE FRONTAGES (see Table 6)	
a. Common lawn	not permitted
b. Porch & Fence	not permitted
c. Terrace or L.C.	permitted
d. Forecourt	permitted
e. Stoop	permitted
f. Shopfront & awning	permitted
g. Gallery	permitted
h. Arcade	permitted

Refer to Summary Table 11

PARKING PROVISIONS

See Table 9

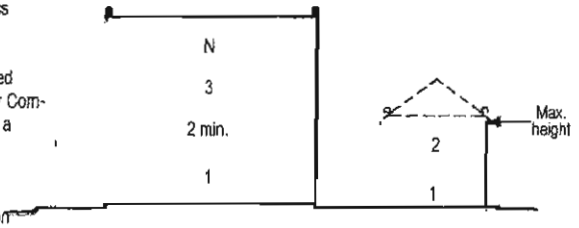
* or 15 ft. from center line of alley

Graphics are illustrative only. Refer to metrics for Setback and height information.

"N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

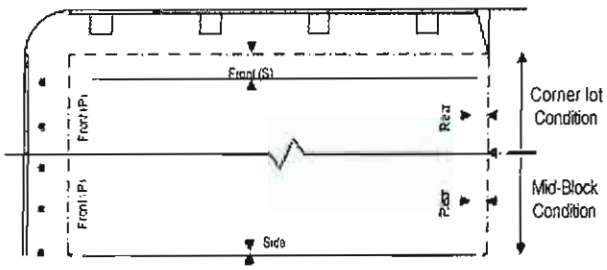
BUILDING CONFIGURATION

1. Building height shall be measured in number of Stories, excluding attics and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished floor or roof, except for a first floor Commercial Function which must be a minimum of 11 ft with a maximum of 25 ft.
3. Height shall be measured to the eave or roof deck as specified on Table 7.
4. Expression Lines shall be as shown on Table 7.



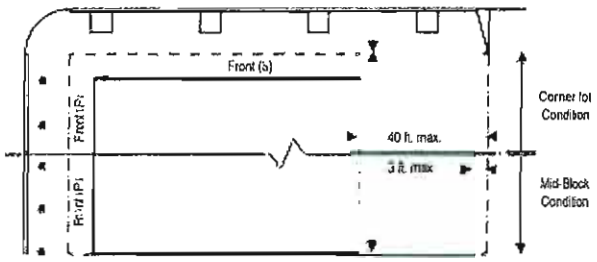
SETBACKS - PRINCIPAL BUILDING

1. The Facades and elevations of Principal Buildings shall be setback from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the Table under Setbacks - Principal Building d.



SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.



PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the 3rd Layer as shown in the diagram (see Table 13d).
2. Covered parking shall be provided within the 3rd Layer as shown in the diagram (see Table 13d).
3. Trash containers shall be stored within the 3rd Layer.

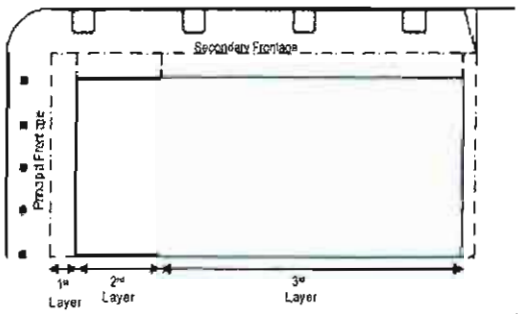
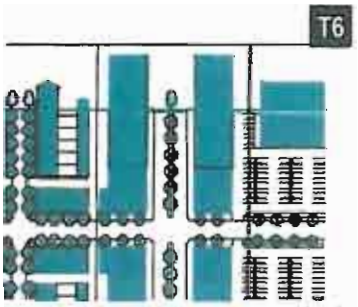


TABLE 12C: Form-Based Code Graphics - T6



(see Table 1)

BUILDING FUNCTION (see Base Zoning District)	

BUILDING CONFIGURATION (see Table 7)	
a. Principal Building	20 stories max. 3 min.
b. Outbuilding	N/A

LOT OCCUPATION	
a. Lot Width	18 ft. min 700 ft. max
b. Lot Coverage	90% max

BUILDING DISPOSITION (see Table 8)	
a. Edgeyard	not permitted
b. Sideyard	not permitted
c. Rearyard	permitted
d. Courtyard	permitted

SETBACKS - PRINCIPAL BUILDING	
a. Front Setback (P)	0 ft. min. 12 ft. max.
a. Front Setback (S)	0 ft. min. 12 ft. max.
b. Side Setback	0 ft. min. 24 ft. max.
c. Rear Setback	0 ft. min.
d. Frontage Buildout	80% min. at setback

SETBACKS - OUTBUILDING	
a. Front	N/A
b. Side	N/A
c. Rear	N/A

PRIVATE FRONTAGES (see Table 6)	
a. Common lawn	not permitted
b. Porch & Fence	not permitted
c. Terrace or L.C.	not permitted
d. Forecourt	permitted
e. Stoop	permitted
f. Shopfront & awning	permitted
g. Gallery	permitted
h. Arcade	permitted

Refer to Summary Table 11

PARKING PROVISIONS

See Table 9

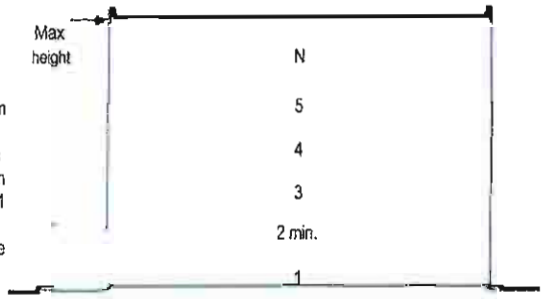
* or 15 ft. from center line of alley

Graphics are illustrative only. Refer to metrics for Setback and height information.

"N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

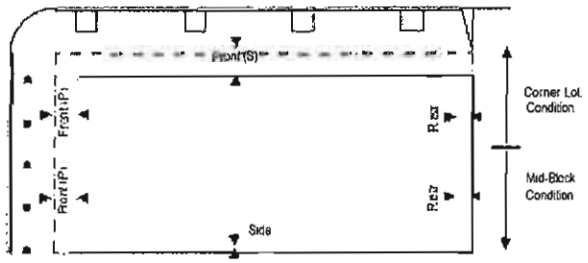
BUILDING CONFIGURATION

1. Building height shall be measured in number of Stories, excluding attics and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished floor or roof, except for a first floor Commercial Function which must be a minimum of 11 ft with a maximum of 25 ft.
3. Height shall be measured to the eave or roof deck as specified on Table 7.
4. Setbacks and Recess Lines shall be as shown on Table 7.



SETBACKS - PRINCIPAL BUILDING

1. The Facades and Elevations of Principal Buildings shall be setback from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the 3rd Layer as shown in the diagram (see Table 13d).
2. Covered parking shall be provided within the 3rd Layer as shown in the diagram (see table 13d).
3. Trash containers shall be stored within the 3rd Layer.

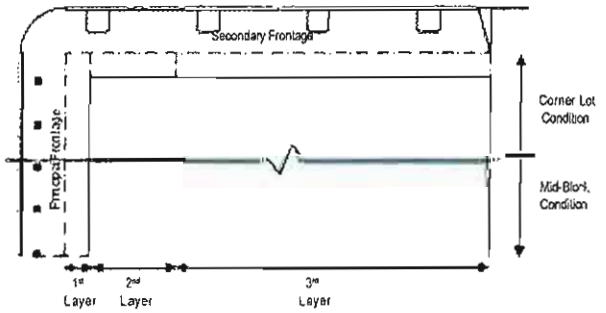
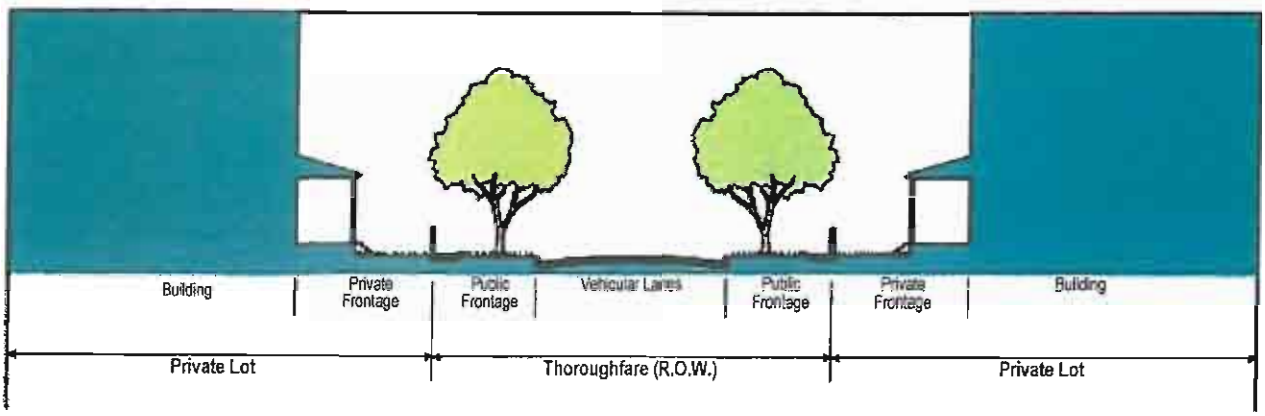
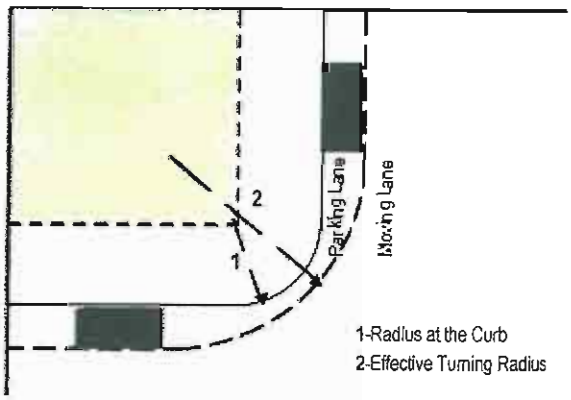


TABLE 13: DEFINITIONS ILLUSTRATED

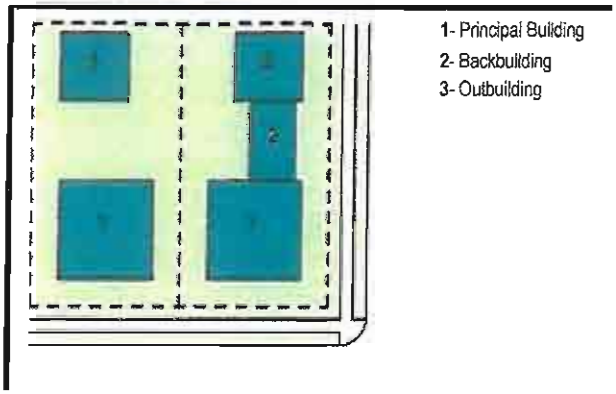
a. THOROUGHFARE & FRONTAGES



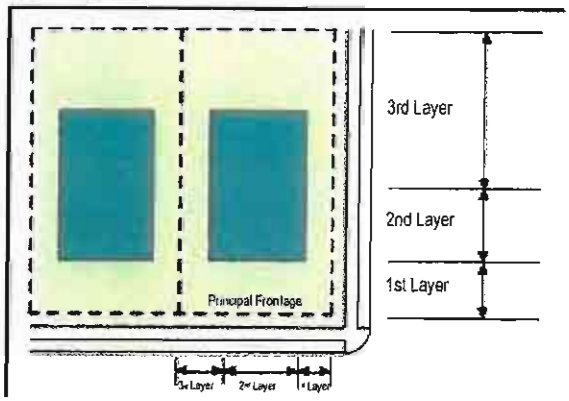
b. TURNING RADIUS



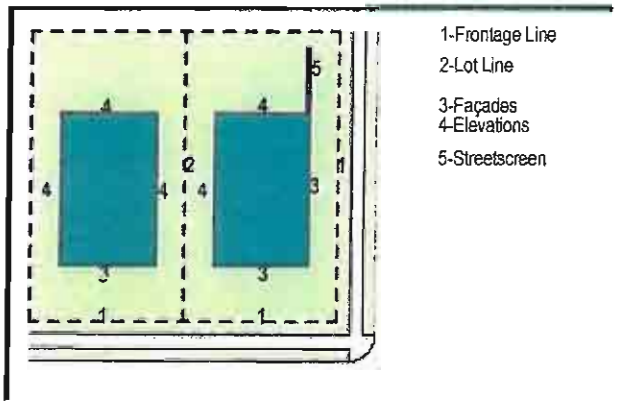
c. BUILDING DISPOSITION



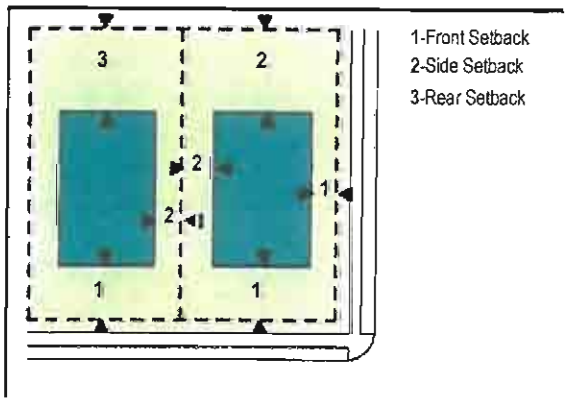
d. LOT LAYERS



e. FRONTAGE & LOT LINES



f. SETBACK DESIGNATIONS



g. VISIBILITY TRIANGLE

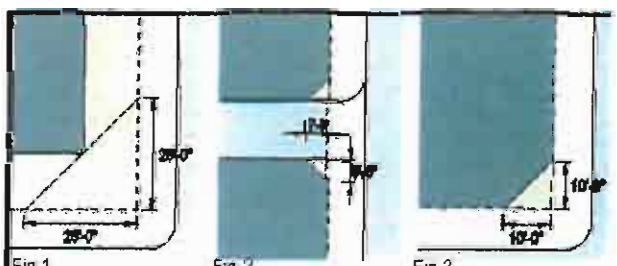
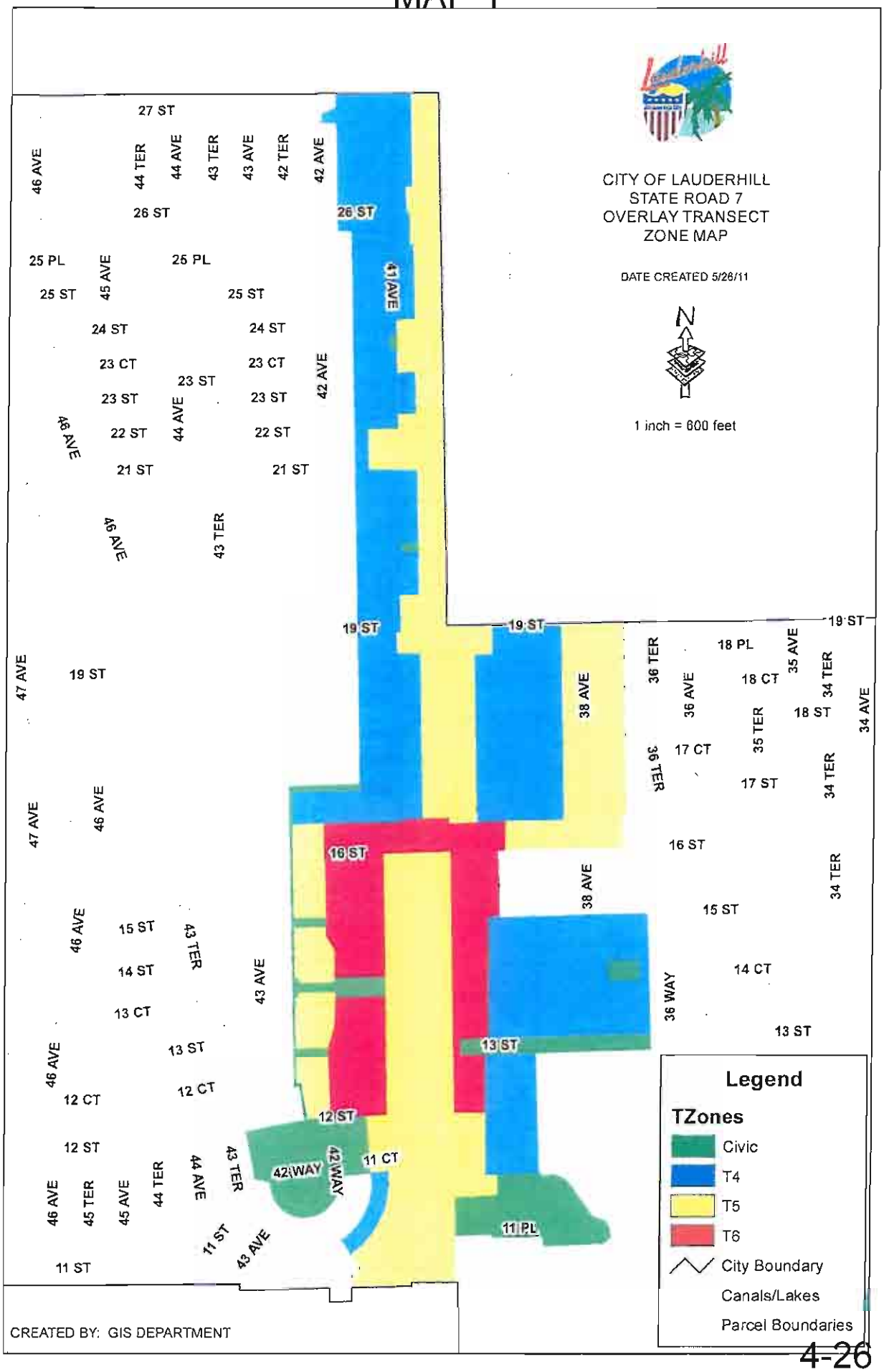


Fig 1.
At Thoroughfare intersections with Building Setbacks

Fig 2.
At intersections of driveways with Thoroughfare with no Building Setbacks

Fig 3.
At Thoroughfare intersections with no Building Setbacks

MAP 1


CITY OF LAUDERHILL
STATE ROAD 7
OVERLAY TRANSECT
ZONE MAP
DATE CREATED 5/26/11
N
1 inch = 600 feet
27 ST
26 ST
25 PL
25 ST
24 ST
23 CT
23 ST
22 ST
21 ST
19 ST
18 PL
18 CT
18 ST
17 CT
17 ST
16 ST
15 ST
14 ST
14 CT
13 CT
13 ST
12 CT
12 ST
11 CT
11 PL
11 ST
46 AVE
44 TER
44 AVE
43 TER
43 AVE
42 TER
42 AVE
45 AVE
41 AVE
47 AVE
38 AVE
36 TER
36 AVE
35 AVE
34 TER
34 AVE
36 WAY
35 TER
45 TER
44 AVE
43 TER
42 WAY
Legend
TZones
Civic
T4
T5
T6
City Boundary
Canals/Lakes
Parcel Boundaries
CREATED BY: GIS DEPARTMENT

MAP 2

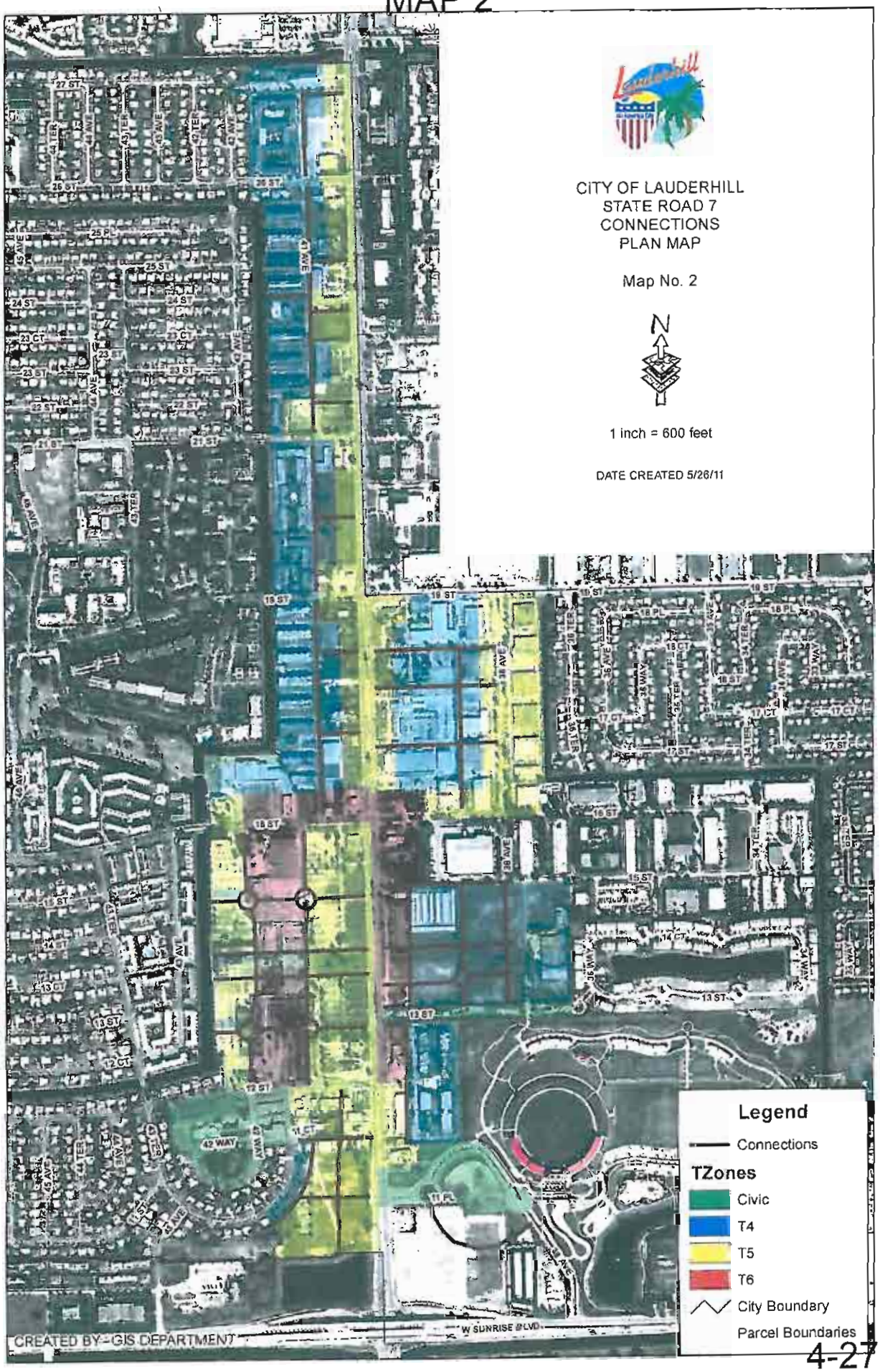
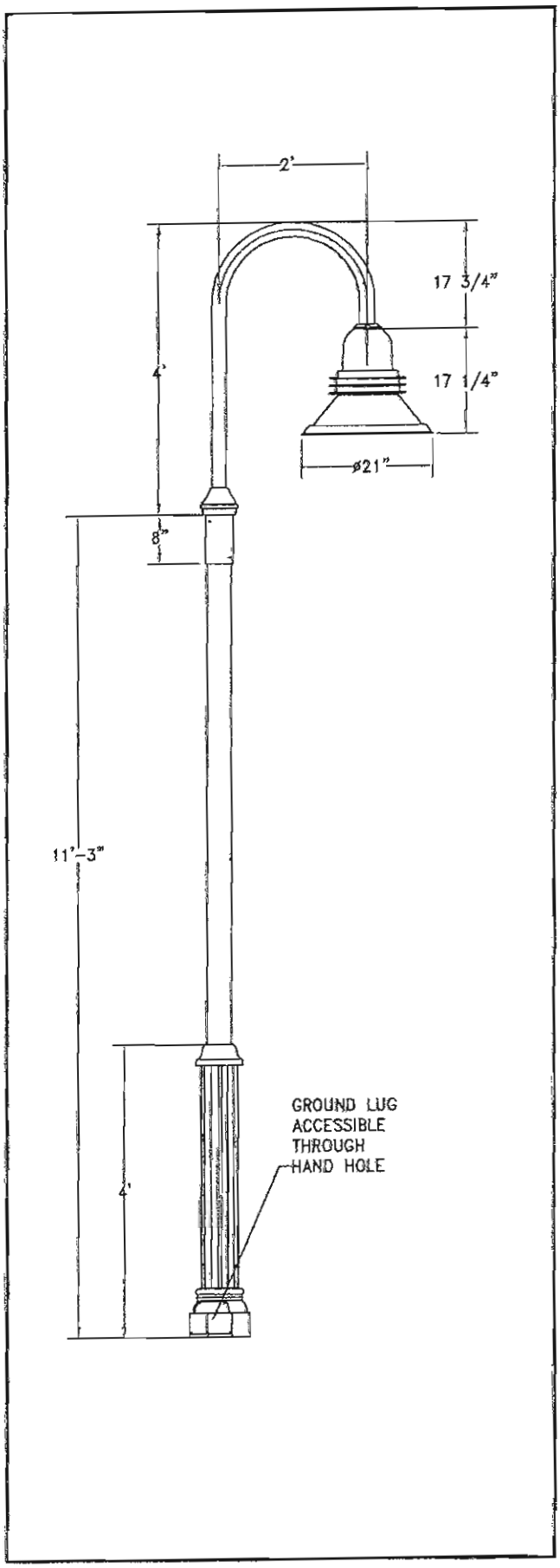
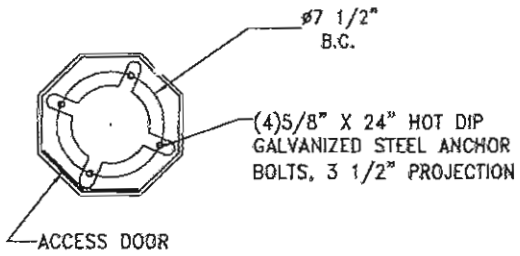

CITY OF LAUDERHILL
STATE ROAD 7
CONNECTIONS
PLAN MAP
Map No. 2
N
1 inch = 600 feet
DATE CREATED 5/26/11
Legend
Connections
TZones
Civic
T4
T5
T6
City Boundary
Parcel Boundaries
CREATED BY - GIS DEPARTMENT
W SUNRISE BLVD

ILLUSTRATION I
LIGHT POLE





BASE FOOTPRINT

ALL CAST ALUMINUM PARTS ARE COPPER FREE ALLOY A356
ALL EXTRUDED ALUMINUM PARTS ARE ALLOY 6061-T6

LENS: CLEAR TEPERED GLASS
OPTICS: TYPE III LED LENSES

LIGHT SOURCE: 48 WATT LED ENGINE AND DRIVERS COMBINATION

VOLTAGE: 120 VOLTS Hz: 60

ELECTRICAL OPTIONS: LSP (LIGHTNING SURGE PROTECTOR)

FIXTURE SHALL BE NRTL LISTED FOR WET LOCATION
FASTENERS: ALL FASTENERS ARE STAINLESS STEEL
(TAMPER RESISTANT OPTIONAL, SPANNER HD (SNAKE EYE) SPECIAL TOOL REQUIRED, NOT PROVIDED)

FINISH: BEACOTE V
POLYESTHER POWDER COAT ELECTROSTATICALLY APPLIED AND THERMOCURED.
COLOR BASIC BLACK